

Northern Neighborhoods Master Plan – Phase III

Design Guidelines



City of Clive

Neighborhood Design Guidelines



This chapter of the *Northwest Neighborhood Master Plan* is intended to guide land developers and builders in many aspects of neighborhood design. These statements are not prescriptive nor adopted as part of the Zoning Ordinance. However, the City will give great weight to them during the process of plat and site plan review.

Residential guidelines comprise the first three sections. These focus on fundamental site planning and design principles that promote compatibility, initial sales and lasting value. Neighborhoods should provide both privacy and community. They should follow time-tested rules of design, reflect vernacular architecture and create harmony and continuity.

Single-Family Housing



▪ **Lot Size:** Three lots sizes are suggested:

- **65 to 80 feet wide:** These lots should be located at the perimeter of the attached housing that wraps around the neighborhood commercial area. It should provide a transition to the larger lots along Little Walnut Creek. Sizes range from 8,775 to 11,200 square feet. Homes on these lots should be characterized with front setbacks of 35 feet from the street right-of-way except along Parkway or Parkway Connector streets, where the front setback should be 40 feet. Other regulations of the R-1, R-2 and R-5 zoning districts should be followed.

Care should be taken to not allow the garage door to dominate the streetscape with these narrower lots. Garage doors should be set further from the street than the rest of the façade or accessed via a rear lane (alley).



- **80 to 120 feet wide:** Homes on these lots should use typical Clive front setbacks of 40 feet. These lots may provide sufficient width to orient the garage door to the side lot line. No garage door should be closer to the street than the front façade. The visual impact of the garage door should be reduced through the

DESIGN GUIDELINES

use of overhangs, windows, materials, articulation, color and multiple doors.

- **Estate Lots:** Estate lots are one-half acre or larger but served by public sewer and water.
- **Orientation:** All housing should relate well to the public street and have a primary door and windows fronting a public sidewalk. Garages should not be set closer to the street than the front porch (ideally, the front façade) of the house. Garages may be to the rear of the house; access from an alley is allowed. On corner lots, the garage should face the side street. Raised front porches and /or front patios are required for all homes. Fifty percent of all houses facing a parkway should have turned garages. All garages facing the street must have windows or custom treatment.
- **Lot Grading:** Mass grading should be reduced to the minimum amount practical. Houses should be sited with regard to the natural contours of the land. In particular, rear slopes should not be created for the express purpose of building walk-out basements.
- **House Design:** It recommended but not required that house design is based on classic American styles; that each house have a front porch or raised patio; that there is a diversity of colors on each block; that high-quality roof shingles be used; and that accent features include contrasting window trim, shutters, etc.
- **Porches:** Porches should be at least six deep; eight feet in preferred in order to allow for outdoor living and use of furniture. When a smaller porch or entry is designed, a veranda or patio should be created suitable for a small table and two chairs. Porches should be covered with a house-style overhang, trellis, or roof.
- **House Color Palette:** Land developers should submit to the City a professionally-designed color palette of warm and vibrant tones from which builders may choose. A review committee should make final recommendations to ensure that adjacent and nearby houses do not repeat colors. The review committee may be staffed by representatives of the developer, the builders and the City.



Mid- and High-Density Housing



- **Context and Character:** Multi family buildings should emulate single family homes in its basic architectural elements – the primary entrance should face the public street; the roof should be pitched rather than flat; the front of the building should have windows.
- **Orientation:** All attached housing should be oriented, when adjacent, toward the public street. Buildings should be set close to the public sidewalk and have doors and windows facing the front sidewalk. Buildings in the interior may face courtyards with sidewalks that lead to the public street. Porches and /or front patios are required on all units.
- **Facades:** Building facades should consist of brick, stucco, wood, concrete plank (e.g., Hardi Plank®), glass and decorative metal on the side(s) facing a public street. Vinyl or aluminum siding should not be allowed on those facades. No blank or poorly articulated facades should face or be visible from public streets.
- **Garage Doors:** Garage doors on multiple-family buildings should not face the public street.
- **Building Façade Materials and Colors:** Building materials should be authentic or of a high quality if simulated. Materials such as brick, wood, stone, cast stone or stucco are recommended. These materials should not be use: unadorned or painted concrete block, unpainted galvanized metal, and prefabricated or tilt-up construction.

Building facades should change their primary material and color only at bands that demarcate floor levels. Siding should be installed horizontally, never vertically.

A professionally-developed color palette is strongly recommended. Strong, dark colors may be used with classic American housing styles.

- **Outdoor Private Areas:** Balconies, patios or decks should be included on all multiple-family buildings.

DESIGN GUIDELINES

- **Off-Street Parking:** Parking lots should be to the rear of the building rather than between the building and the public street. Any parking lot along a public street should be softened with plantings, berms or low masonry walls. Each housing unit should have at least one covered parking space.
- **On-Street Parking:** On-street parallel parking should be allowed along public streets and should be counted toward the parking requirement.
- **Sidewalks:** Each public street should have a five-foot wide concrete sidewalk on both sides. Trees should be planted in the boulevard, spaced on average 40 feet apart.
- **Corner Housing Units:** Corner units should relate to both streets with the intention of visually ending the block and relating to both streets with entries, detailing and building articulation.
- **Building Volume:** Building volume should be broken with recesses and projections such as porches, dormers and bays. Volume may also be broken with multiple roof and ridge lines perpendicular to one another or offset in such a manner as to avoid single rooflines.
- **Building Scale:** Building scale can be reduced with projections that step down toward the street such as porches or entry overhangs. Buildings should not exceed two stories in height.
- **Seniors' Housing:** Condominium or apartment buildings for senior citizens may be set further from the street than other attached housing in the Civic Core, to accommodate a covered portico and turn-around drive.
- **Homeowners Association:** Developments must have an incorporated homeowners Association regulating exterior appearance, maintenance and upkeep. A draft copy of this document should be submitted for review as part of the P.U.D. submittal to the City. The City will be responsible for maintaining all elements in the street rights-of-way, the parks and the stormwater ponds.



Office Buildings

Office building design should contribute to the pedestrian environment and appear harmonious with nearby shops or multiple-family housing.



- **Facades:** Buildings should have equal façade treatment on all four sides. All sides visible from a public street shall have an articulated fenestration with doors and windows. No long, blank walls should be used in these locations.

Building facades should consist of brick, stucco, wood, concrete plan (e.g. Hardiplank), glass and decorative metal on the sides facing a public street. Accent materials may include metal, EFIS, copper flashing or similar materials. Jumbo brick, concrete panels, vinyl or aluminum siding should not be allowed on those facades.

- **Landscaping:** Sites should be well landscaped on all four sides. Parking lots should include islands with trees. Entry drives should be defined by trees and shrubs. Decorative lighting standards shall be used in all pedestrian areas. All lighting shall include cut-offs to limit glare. Parking lot lighting shall be aesthetically compatible to pedestrian lighting.
- **Setback:** Office buildings should abut the public sidewalk.
- **Sidewalks:** Concrete sidewalks should be included along each public street. Buildings within a campus or open space setting shall have a clearly defined pedestrian connection to the adjoining public street.



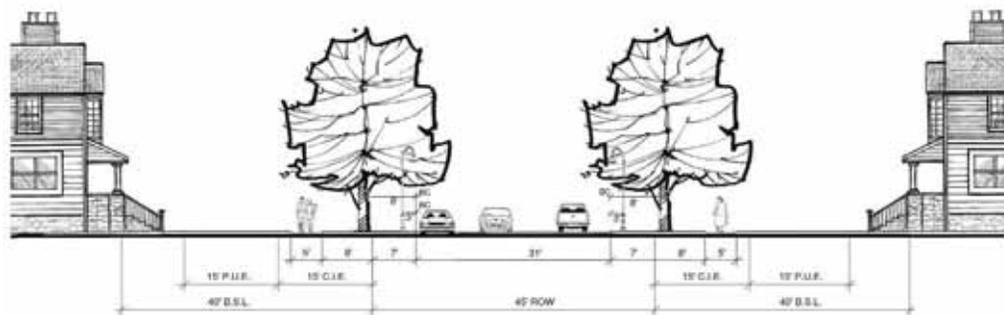
The Elementary School

- **Architectural Image:** The elementary school should be a distinctive structure of high quality materials such as brick that honors the importance of education and complements the nearby housing. The primary entrance should be apparent and face the parkway. Any wall that faces a public street should have windows. The site should be landscaped with trees for shade, cooling and beauty.

Collector and Parkway Street Design

Collector and parkway streets should knit the blocks and provide pedestrian movement across the neighborhood. Three collector streets are planned in the neighborhood, two in an east-west orientation and one north-south. The east-west collector immediately south of Little Walnut Creek is designated as a parkway, as is the north-south collector.

- **Street Width:** Collector streets should be 31 feet wide in a public right-of-way of 45 feet. Streetlights may be located in the right-of-way but sidewalks and street trees should be set in a 10-foot City Improvements Easement (C.I.E.). A 15-foot Private Utilities Easement is located outside the C.I.E. Houses along the Parkway Streets should be set 40 feet behind the public street right-of-way.
- **Medians:** Landscaped medians (16 feet wide, 150 to 300 feet in length) should be installed at each of the perimeter entrances to the neighborhood.
- **Parkway Design:** Parkway streets are collector streets with a deeper setback and a wider boulevard between the curb and the sidewalk.
- **Sidewalks:** A five-foot wide concrete sidewalk should be installed on both sides of each collector street.
- **Trees and Streetlights:** Deciduous trees (2.5 inches caliper) should be planted in the City Improvements Easement at an average distance of 40 feet apart. The City of Clive decorative streetlight should be installed at each intersection along the Parkway streets. Standard fixtures should be used on Collector Street.



Local Street Design

Local streets should be narrow and lined with trees and sidewalks.

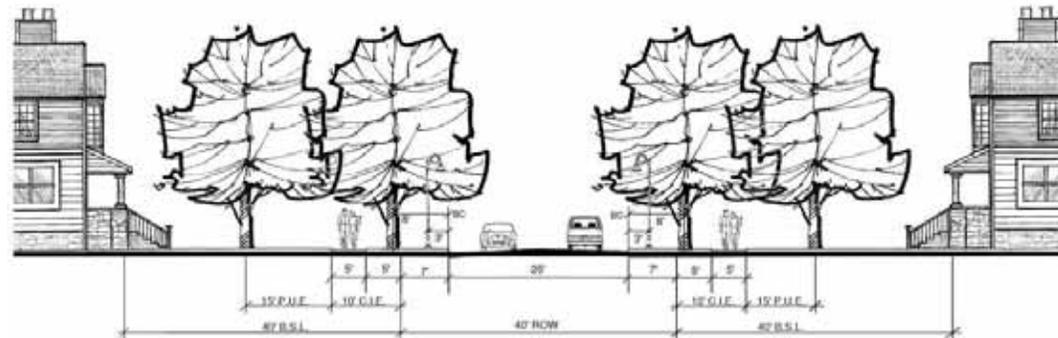


- **Street Width:** Local streets should be 26 feet wide in a public right-of-way of 40 feet. Streetlights may be located in the right-of-way but sidewalks and street trees should be set in a ten-foot City Improvements Easement. A 15-foot Private Utilities Easement is located outside the C.I.E. Houses along local streets should be set 35 feet behind the public right-of-way.
- **Trees and Streetlights:** Deciduous trees (2.5 inch caliper) should be planted in the boulevard at an average distance of 40 feet apart. The standard Mid-Am Energy streetlight should be installed at each intersection.



- **Roundabouts:** Three roundabouts are shown on the neighborhood plan. These traffic control devices take the place of four-way stop controls while providing a higher level of service at the intersection. Plantings with irrigation should be installed in each roundabout. The roadway geometric design should follow the standards established by the Iowa Department of Transportation.
- **Parkway Connector Streets:** Three diagonal streets in the southeast quadrant of the neighborhood are designed as “parkway connectors.”

These streets are designed like local streets but have a staggered double row of street trees for greater pedestrian comfort.



Parks, Open Space and Paths

Open space should consist of parks for active or passive recreation, green corridors for bicycling and walking, and spaces for natural preservation. Parks add natural beauty, allow recreation and exercise, promote lasting value for all the homes, and serve as community gathering points.

- **Quality:** Public parks, plazas and linear public open space should be built to a high quality of design and materials to express the importance of these public spaces.
- **Parks:** Three City parks are proposed by the neighborhood plan. The site near Alice’s Road and the site near the creek and school may include fields for softball or soccer, play equipment, zero-depth spray pools for small children, open space and off-street parking. The third site, adjacent to the north-south parkway, is a “neighborhood” park and may include play equipment, picnic facilities and open space.
- **Squares:** Two Town Squares are proposed. Each should be should be designed as a sub-neighborhood focal point and may have features for strolling, sitting and small picnics; they should include trees, shrubs and flowers and possibly a gazebo for picnics or musical performances.
- **Greenbelt Linear Park:** The linear park along Little Walnut Creek is an extension of the park feature that runs through and links through several Clive neighborhoods to the east. It will include a ten foot wide bituminous bicycling path along creek as indicated on the neighborhood plan.

Upland areas may have mowed turf grass and trees but the edges of waterways should be managed with natural vegetation. Shallow, linear planted ponds (“rain gardens”) may be used to treat runoff before it enters natural water bodies.

- **Ponding:** All ponding areas are to have native grass and wildflower buffers with a minimum width of 15 feet beyond the Normal High Water level and an appropriate native grass mix in the inundation zone.





- **Creek Overlooks:** Two small parks provide overlook opportunities along the creek and provide visual, physical and psychological access to the creek from the larger neighborhood.
- **Private Parks:** Two privately developed parks are proposed in the northern part of the neighborhood.. Parks should be developed to City standards and may or may not be dedicated to the City as part of the developer's agreement.
- **Open Space / Conservation Easements:** Conservation easements will be applied over the rear of the lots that abut the Greenbelt and the ravines. These will provide natural open space along the Greenbelt. If disturbed, the easements should be planted with native grasses and wildflowers; otherwise, they should be left natural. The easement areas should be defined as:
 - Areas within the floodplain of Little Walnut Creek,
 - Areas in drainageways, ravines and wetlands
 - Areas immediately outside the floodplain of Little Walnut Creek.

Permanent markers will be used to indicate the home-side edge of the easement.



- **Amphitheatre:** An amphitheater is proposed for the southwestern park near Little Walnut Creek. It should have a simple design that fits onto the landscape. There would be a raised stage but probably no canopy. It could be used for concerts, small plays, elementary school performances, etc.

Neighborhood Commercial Area

The Commercial Area guidelines are intended to help create a vibrant and pedestrian-oriented neighborhood-scale shopping area.

- **Building Facades:** Retail buildings should have doors, windows and sidewalks both front and rear. Building facades that face a public street should include doors and windows, rich materials, in and out wall articulation, and a variety of fenestration (e.g., recessed doorways, windows with mullions) so as to create pedestrian interest and human scale at the street level. No long, blank walls should be used in those locations. Reflective glass should not be used.

Facade treatment should be carried around all exterior sides.

Facades should be designed to convey the impression of a series of individually-constructed, small storefronts. Storefront width at the sidewalk should not exceed 30 feet unless there is articulation of the facade. Facades may exceed 30 in width with articulation that visually breaks building facades.

The total building length along the sidewalk should not exceed 120 feet before a break or lane occurs in the building that allows pedestrian movement.

- Divisions or breaks in building materials, or detailing
- Window placement and pattern
- Distinct and separate entries
- Variation in roofline
- Awnings
- Recessed entries or courtyards.

Building facades should consist of brick, stucco, glass and decorative metal. Accent materials may include metal, EFIS, copper flashing or similar materials. EFIS and stucco may not be used as the primary materials. Jumbo brick, concrete panels, wood, vinyl or aluminum siding, reflective glass, unpainted galvanized metal or clear finished wood should not be allowed.





- **Building Height:** Buildings should be one or two stories in height; the upper level should be occupied by offices or housing.
- **Building Setback:** Buildings should abut the public sidewalk on all exterior sides.
- **Sidewalks:** Concrete sidewalks with a minimum width of ten feet should be included along each perimeter wall.
- **Windows:** At least 70 percent of the ground level front façade should be transparent (windows and doors), and at least 35 percent of the rear or exterior side façades.
- **Doors:** Customer access doors should be provided on both the front and rear sides for access from the ‘main street’ sidewalk and on-street parking and from the rear sidewalk and parking lot areas. Doorways should be designed to be distinct and separate.
- **Pedestrian Shelter:** Awnings and overhangs should be provided at entryways to provide shelter from the sun and rain.
- **Street Trees:** Trees should be installed along each public sidewalk with spacing averaging 50 feet. Trees should be located so as to not obscure the principal storefront windows or wall signs of stores.
- **Signs:** Business signs in the neighborhood commercial area should be architecturally compatible with the style, composition, materials, colors and details of the building and an integral part of the building. Signs should be indirectly lit (rather than back lit). Wall signs should be located in a position above the front window that is located consistently among stores. Projecting signs should be decorative and unique with an emphasis on graphics over words. The following types of signs should not be used: pylon, rooftop, changeable message.
- **Lighting:** Decorative lighting should be used to unify the neighborhood commercial area and improve the environment for pedestrians. Lighting fixtures should include cut-offs to limit glare to the site.

DESIGN GUIDELINES

- **Parking:** Parking lots should be located to the rear of the building, not along the primary public street. Parallel or angled parking should be included along each local (minor) street in the neighborhood commercial area.

Parking areas should be softened with landscaping on the perimeter & end islands. If space permits, interior planted islands may be included.

- **Streets:** Public streets should be limited to a maximum width between the curbs of 24 feet plus space for parallel or angled parking. All local (non-collector) streets in the neighborhood commercial area should have on-street parking. Curbing should extend to the edge of the driving lanes (bump-outs) at pedestrian crossings. Pedestrian crosswalks at streets should be marked with applied striping or decorative materials. Curb-cuts and ramps should meet the standards Americans with Disabilities Act. Entry drives should be defined by trees and shrubs.
- **Landscaping:** Sites should be landscaped on all four sides. Parking bays should include islands with trees. Entry drives should be defined by trees and shrubs. The outer perimeters of major parking bays should be screened with landscaping and/or berms that diminish perimeter views of the parking. Landscaping should not obstruct views of building signage.
- **Open Space:** Public sidewalks in this setting should be considered public open space and be appropriately landscaped. Outdoor plazas and seating areas are encouraged.
- **Corner Focal Area:** A civic focal component such as a clock tower visible from commercial area to help project identity.
- **Rooftops:** Flat roofs may be used in combination with well-detailed parapets. All rooftop equipment should be screened from view at street level or from adjacent buildings using muted colors and materials that blend into the roof.





- **Multi-Level Buildings:** Any multi-level building should distinguish the ground floor level from the upper floors by use of these techniques: an intermediate cornice line, difference in building materials or details, awnings, trellis or arcade, special window details, or brick corbels or quoins.
- **Franchise Architecture:** Franchise architecture identified with a particular retail or restaurant chain is allowable if architecturally integrated into the district. Drive-up windows may be allowed if conflicts with pedestrian traffic are minimal.
- **Outlot Retail:** Retail development separate from the “Main Street” buildings may be permitted if they have four-sided architecture and are double fronted onto the perimeter roadways and parking areas.



